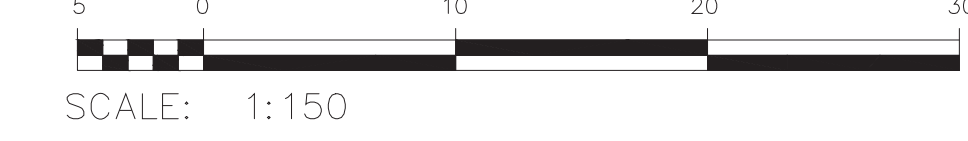


ONTARIO BUILDING CODE DATA MATRIX PARTS 3 & 9				OBC Reference	
1	PROJECT DESCRIPTION: 3 storey Mix-use and Multi-unit Residential building.	<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Alteration <input type="checkbox"/> Change of use	<input checked="" type="checkbox"/> Part 3		
2	MAJOR OCCUPANCY(S) "C" - RESIDENTIAL AND "E" - RETAIL			3.1.2.1. (1)	
3	BUILDING AREA (m ²) EXISTING 0 NEW 903.4 TOTAL 903.4			1.1.3.2	
4	GROSS AREA EXISTING 0 NEW 2540.2 TOTAL 2540.2			1.1.3.2	
5	NUMBER OF STOREYS ABOVE GRADE 3 BELOW GRADE 0				
6	HEIGHT OF BUILDING (m) ABOVE GRADE 11.0 m BELOW GRADE 0			3.2.2.10, 3.2.5.4 TO 3.2.5.6	
7	NUMBER OF STREETS/ACCESS ROUTES 2			3.2.2.10, 3.2.5.4 TO 3.2.5.6	
8	BUILDING CLASSIFICATION RESIDENTIAL: 3.2.2.44, GROUP C, UP TO 3 STOREYS, NONCOMBUSTIBLE CONSTRUCTION RETAIL: 3.2.2.59, GROUP E, UP TO 3 STOREYS			3.2.2.44, 3.2.2.59	
9	SPRINKLER SYSTEM PROPOSED	<input type="checkbox"/> entire building <input type="checkbox"/> basement only <input type="checkbox"/> in lieu of roof rating <input checked="" type="checkbox"/> not required		3.2.2.62, 3.2.2.17	
10	STANDPIPE REQUIRED	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.9	
11	FIRE ALARM REQUIRED	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		3.2.4	
12	WATER SERVICE/SUPPLY IS ADEQUATE	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
13	HIGH BUILDING	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
14	PERMITTED CONSTRUCTION ACTUAL CONSTRUCTION	<input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Both		3.2.2.44	
15	GROUND FLOOR Floor Area m ² 903.4 MEZZANINE Floor Area m ² N/A			3.2.1.1. (4)	
16	OCCUPANT LOAD BASED ON	<input type="checkbox"/> m ² /person Occupancy C - 20 UNITS Occupancy E - 10 UNITS Total Occupancy Load	<input checked="" type="checkbox"/> design of building Load persons Load persons	3.1.1.7.(C)(ii)	
17	BARRIER-FREE DESIGN	<input checked="" type="checkbox"/> Yes (GROUND FL.) <input type="checkbox"/> No (Explain)		3.8	
18	HAZARDOUS SUBSTANCES	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
19	REQUIRED FIRE RESISTANCE RATING (FRR)	Horizontal Assemblies (FRR (Hours)) Floors 1 Hours - Roof 1 Hours - Mezzanine - Hours - FRR of Supporting Members Floors 1 Hours - Roof 1 Hours - Mezzanine - Hours -	Listed Design No. or Description (SC-2) - - - Listed Design No. or Description (SC-2) - -		
20	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS		3.2.3.1.B		
		WALL AREA OF FRR (m ²) L.D. (m) L/H H/A PERMITTED MAX. % OF OPENINGS PROPOSED % OF OPENINGS FRR (HOURS) LISTED DESIGN OR DESCRIPTION TYPE OF CONSTRUCTION REQUIRED TYPE OF CLADDING REQUIRED			
		(ALBERT ST.) NORTH 64.6 9.0 1.81:3 100% 40.5% - - NON-COMBUSTIBLE NON-COMBUSTIBLE			
		WEST 185 8.583 1.96:3 25% 1% 1 HOUR - NON-COMBUSTIBLE NON-COMBUSTIBLE			
		SOUTH 193.8 30.141 - 100% 9% - - NON-COMBUSTIBLE NON-COMBUSTIBLE			
		EAST 185 2.1 1.96:3 4% 0% 2 HOUR - NON-COMBUSTIBLE NON-COMBUSTIBLE			
		(DIVISION ST.) NORTH 147.0 9.0 2.47:3 46% 24.3% 1 HOUR - NON-COMBUSTIBLE NON-COMBUSTIBLE			
		WEST 64.6 2.1 1.96:3 4% 0% 2 HOUR - NON-COMBUSTIBLE NON-COMBUSTIBLE			
		SOUTH 221.8 1.653 1.64:3 7% 0% 1 HOUR - NON-COMBUSTIBLE NON-COMBUSTIBLE			
		EAST 64.6 12 1.83:3 100% 41.8% - - NON-COMBUSTIBLE NON-COMBUSTIBLE			
21	BUILDING MEETS REQUIREMENTS SET OUT IN 3.3.1.6. TRAVEL DISTANCE & 3.4.2.5.(F) LOCATIONS OF EXIT (30m) DEAD END CORRIDOR IS PERMITTED TO PROVIDE IT IS NOT MORE THAN 6m LONG 3.3.1.9.(F)				
22	FIRE SEPARATION OF MAJOR OCCUPANCIES: 1 HOUR F.R. FIRE SEPARATION IS REQUIRED BETWEEN OCCUPANCY GROUP-D AND GROUP-C.				
23	DOORS @ CRU #104, #105, #106, UNITS #204, #205, #206, #304, #305 AND #306 ARE TO BE 2hr. FIRE RATED				

PLAN OF SURVEY OF
PART OF LOTS 6, 7, 8 & 9
BLOCK "A" OF CADDY PLAN
GEOGRAPHIC TOWN OF COBOURG
COUNTY OF NORTHUMBERLAND



SCALE: 1:150

LEGEND	
■	DENOTES SURVEY MONUMENT, FOUND
□	DENOTES SURVEY MONUMENT, PLANTED
WT	DENOTES WITNESS
1142	DENOTES K.F. LASHLEY, O.L.S.
DJP	DENOTES DONEVAN FLEISCHMANN PETRICH LIMITED
P1	DENOTES PLAN 39R-465
P2	DENOTES PLAN 39R-3447
P3	DENOTES PLAN 39R-12127
P4	DENOTES PLAN 39R-11602
CGVD(28)	DENOTES CANADIAN GEODETIC VERTICAL DATUM OF 1928
○	DENOTES CATCH BASIN
○	DENOTES LIGHT STANDARD
○	DENOTES MANHOLE
○	DENOTES WATER VALVE
○	DENOTES METER
○	DENOTES TRAFFIC STANDARD
○	DENOTES BOLLARD
○	DENOTES SPOT ELEVATION CGVD(28)



JBF SURVEYORS
44 CLEMENTI ST., BOX 70
LAKEFIELD, ON. K0L 2H0
PHONE: 705-652-6198
INFO@JBF.SURVEYORS.COM
WWW.JBF.SURVEYORS.COM



KEY PLAN
SCALE NTS

PART OF LOTS 6, 7, 8 & 9
BLOCK "A" OF CADDY PLAN
GEOGRAPHIC TOWN OF COBOURG
COUNTY OF NORTHUMBERLAND

DEVELOPMENT STATISTICS:	
DEVELOPMENT (D) ZONE REGULATIONS: TOWN OF COBOURG ZONING BY-LAW #85-2003	
Site Area:	2.485m ² (0.614 ac)
Ground Floor (West Wing: 3-Live/Work):	282.4 m ²
Ground Floor (East Wing: 7-Retails):	621.0 m ²
TOTAL Ground Floor AREA:	903.4 m ²
2nd. Floor (10-Residential):	250.1 m ²
East Wing:	540.4 m ²
TOTAL 2nd. FLOOR AREA:	790.5 m ²
3rd. Floor (10-Residential):	267.0 m ²
East Wing:	579.3 m ²
TOTAL 3rd. FLOOR AREA:	846.3 m ²
TOTAL GFA:	2540.2 m ²
Lot Coverage (903.4/2485):	36.4% < 30%
Max. Building Height:	11.00 m (3 Storeys) < 12m (3 Storeys)

PARKING SUMMARY:	
RESIDENTIAL (LIVE-WORK PARKING REQUIRED 23 UNITS (1 PER UNIT PARKING RATIO))	23 SPACES
VISITOR PARKING = 0.25/UNIT	6 SPACES
TOTAL REQUIRED PER BY-LAW	29 SPACES
PARKING PROVIDED	23 SPACES

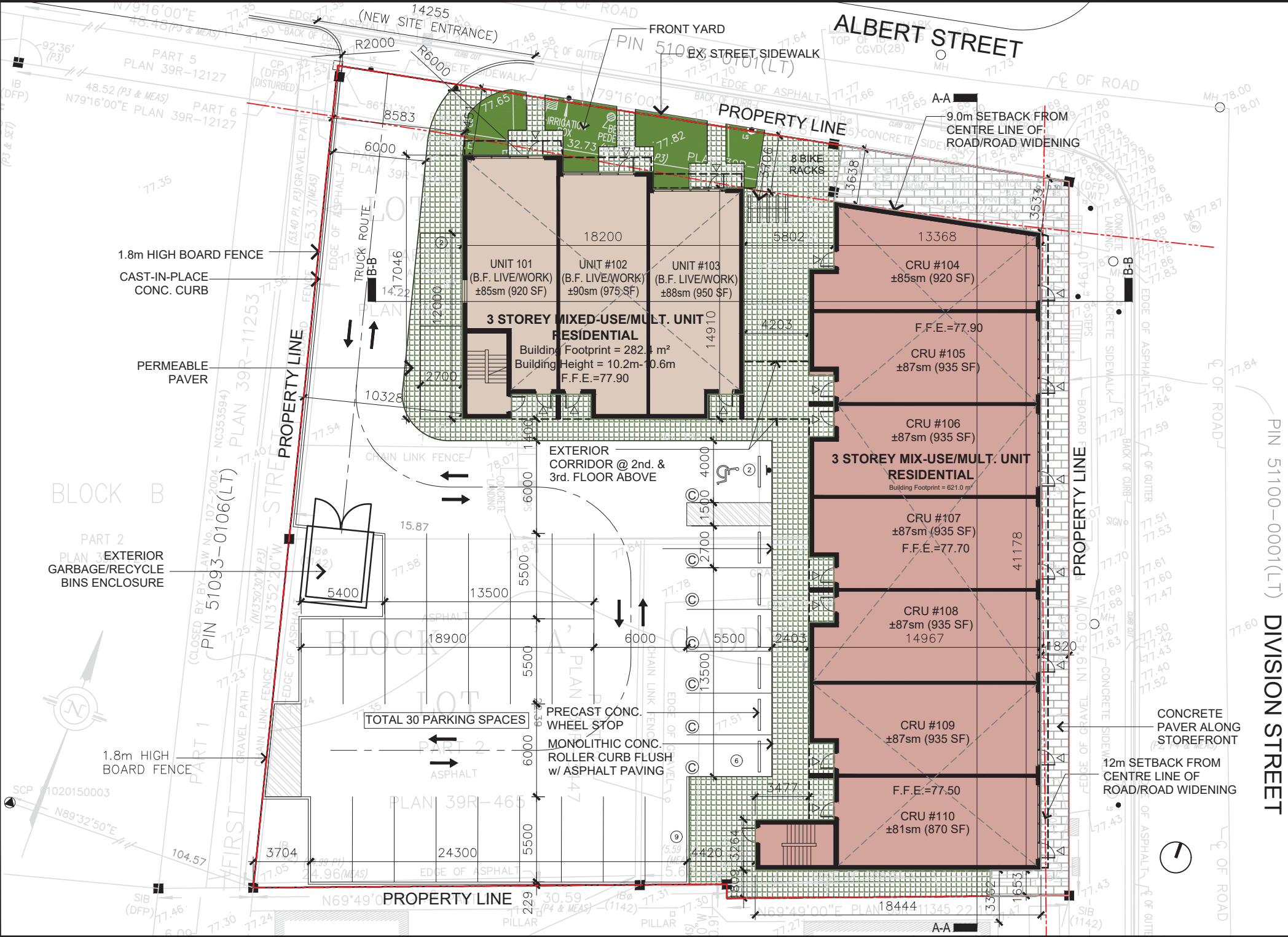
RETAIL PARKING REQUIRED	
1/18m ² PARKING RATIO	35 SPACES
TOTAL REQUIRED PER BY-LAW	64 SPACES
188m ² PARKING RATIO (VARIANCE FOR RETAIL)	7 SPACES
TOTAL PROVIDED ON-SITE	30 SPACES

BICYCLE PARKING SUMMARY:	
RESIDENTIAL (1 DWELLING UNITS)	4 SPACES
RETAIL (2-1100m ² OF GFA)	3 SPACES
TOTAL REQUIRED PER BY-LAW	7 SPACES
TOTAL PROVIDED	8 SPACES

DEVELOPMENT (D) ZONE REGULATIONS: TOWN OF COBOURG ZONING BY-LAW #85-2003	
- PERMITTED USES:	
- NEW HOMES	
- NEW ACCESSORY USES	
- NEW DAY NURSERY	
- LOT COVERAGE: 30% MAXIMUM	
- BUILDING HEIGHT: MAX. 3 STOREYS	
- PARKING/LOADING PROVISIONS:	
RESIDENTIAL:	
- TOWNHOUSE OR MULTI-UNIT DWELLING = 1.5/UNIT.	
- DWELLING UNIT IN A MIXED-USE DEVELOPMENT = 1/UNIT - REQUIREMENTS OF OTHER USES.	
- VISITOR PARKING = 0.25/UNIT.	
NON-RESIDENTIAL:	
- OFFICES = 1/33m ²	
- MEDICAL CLINIC/ WELLNESS = 6/ PRACTITIONER	
- RESTAURANT = 1/9m ²	
- RETAIL = 1/18m ²	
- DAYCARE/NURSERY = 1/ STAFF MEMBER + 1/12 CHILDREN ENROLLED.	
PARKING/LOADING STANDARDS	
- TYPICAL PARKING SPACE 2.7m X 5.5m	
- B.F. PARKING SPACE 4.4m X 5.5m (MIN. 24sm)	
- TWO-WAY DRIVE AISLES MIN. 6m WIDE	
- SETBACK 3m FROM ANY PUBLIC STREET	
REQUIRED MINIMUM SETBACKS	
- ALONG DIVISION STREET (20m WIDE):	
MIN. 12m FROM CENTER LINE OF STREET.	
- ALONG ALBERT STREET (16m EXTG./18m PLANNED)	
MIN. 9m FROM CENTER LINE OF STREET.	
NOTE: THE FOLLOWING LIST OF USES ARE NOT INCLUDED IN THE LIST OF PERMITTED USES PER THE ZONING DESIGNATION (D) FOR THIS SITE:	
- RETAIL/COMMERCIAL	
- APARTMENT DWELLINGS	
- TOWNHOUSES/ OR MULTI-UNIT DWELLINGS	
- DWELLING UNITS IN A MIXED-USE DEVELOPMENT	

ISSUED FOR SITE PLAN APPROVAL	
2020 NOV 30	LY/TG
N. O. REVISIONS	D. A. T. E. BY
Contractor must check and verify all dimensions on the job and report any discrepancies to the Architect before proceeding with the work.	
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This drawing must be read in the context of all the other drawings which constitute the document.	

SITE PLAN & SITE STATISTICS	
S	1: 650 A L E
MIX-USE/MULTI-USE RESIDENTIAL ALBERT ST. & DIVISION ST. COBOURG, ONTARIO	
FOR:	
PETROFF PARTNERSHIP ARCHITECTS	
PETROFF	
260 TOWN CENTRE BLVD., SUITE 300 MARKHAM ONTARIO CANADA L3R 8H8 TEL. 905.470.7000 FAX. 905.470.2500	
DATE	LY
2020	TO
1.1.1	OCTOBER 2020
1.1.1	OCTOBER 2020
1.1.1	100.0



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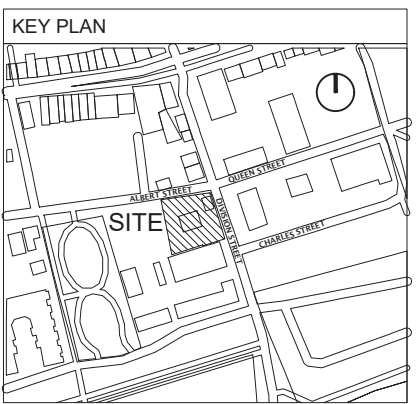
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LEGAL DESCRIPTION

PLAN OF SURVEY OF
PART OF LOTS OF 6,7,8 & 9
BLOCK "A"
CADDY PLAN
GEOGRAPHIC TOWN OF COBOURG
COUNTY OF NORTHUMBERLAND



- LEGEND**
- PROPERTY LINE
 - SETBACK
 - LIVE/WORK UNIT
 - CRU UNIT
 - RESIDENTIAL UNIT

1.	ISSUED FOR SITE PLAN APPLICATION	2020/11/30	SX
No.	REVISIONS	DATE	BY

DRAWING TITLE

GROUND FLOOR PLAN

PROJECT

MIXED-USE RESIDENTIAL DEVELOPMENT

ALBERT STREET / DIVISION STREET
TOWN OF COBOURG ONTARIO

PETROFF PARTNERSHIP ARCHITECTS

PETROFF

2800 TOWN CENTRE BLVD. SUITE 800
MARKHAM ONTARIO CANADA L3R 9H8
TEL: 905.470.7000 FAX: 905.470.2800

ONTARIO ASSOCIATION
OF ARCHITECTS

6768

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CHECKED BY	MV	SCALE	1:300
DRAWING No.	A1.0	DATE	2020/09/17

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			CHECKD BY	MV
DRAWING No.	A1.1		SCALE	1:300
			DATE	2020/09/17



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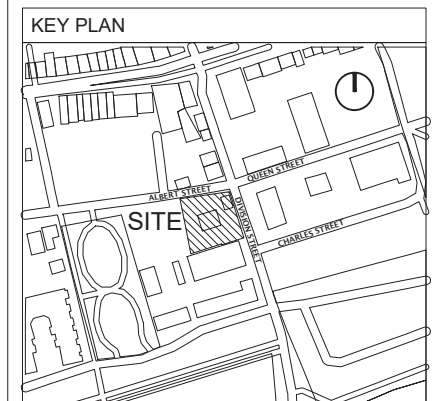
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CADDY PLAN
GEOGRAPHIC TOWN OF COBOURG
COUNTY OF NORTHUMBERLAND



LEGEND

- PROPERTY LINE
- SETBACK
- LIVE/WORK UNIT
- CRU UNIT
- RESIDENTIAL UNIT

1.	ISSUED FOR SITE PLAN APPLICATION	2020/11/30	SX
No.	REVISIONS	DATE	BY

DRAWING TITLE

THIRD FLOOR PLAN

PROJECT

MIXED-USE RESIDENTIAL DEVELOPMENT

ALBERT STREET / DIVISION STREET
TOWN OF COBOURG ONTARIO

PETROFF PARTNERSHIP ARCHITECTS

PETROFF

280 TOWN CENTRE BLVD. SUITE 800
MARKHAM ONTARIO CANADA L3R 8H8
TEL: 905.470.7000 FAX: 905.470.2800

ONARIO ASSOCIATION
ARCHITECTS
ALF HANCOCK
LICENCE
6768

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		SCALE	1:300
		DATE	2020/09/17



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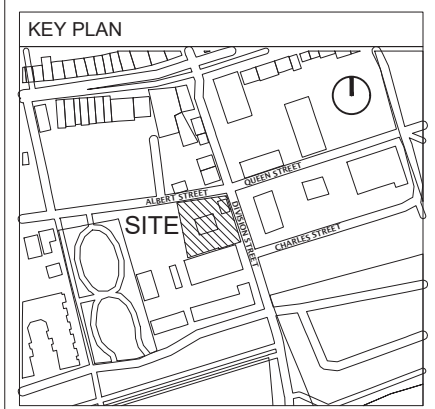
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PLAN OF SURVEY OF
PART OF LOTS OF 6,7,8 & 9
BLOCK "A"
CADDY PLAN
GEOGRAPHIC TOWN OF COBOURG
COUNTY OF NORTHUMBERLAND



LEGEND

- PROPERTY LINE (Red dashed line)
- SETBACK (Red dash-dot line)
- LIVE/WORK UNIT (Light brown fill)
- CRU UNIT (Dark brown fill)
- RESIDENTIAL UNIT (Olive green fill)

1.	ISSUED FOR SITE PLAN APPLICATION	2020/11/30	SX
No.	REVISIONS	DATE	BY

DRAWING TITLE

ROOF PLAN

PROJECT

MIXED-USE RESIDENTIAL DEVELOPMENT

ALBERT STREET / DIVISION STREET
TOWN OF COBOURG ONTARIO

PETROFF PARTNERSHIP ARCHITECTS

PETROFF

280 TOWN CENTRE BLVD. SUITE 800
MARKHAM ONTARIO CANADA L3R 9H3
TEL: 905.470.7000 FAX: 905.470.2800

ONARIO ASSOCIATION
OF ARCHITECTS

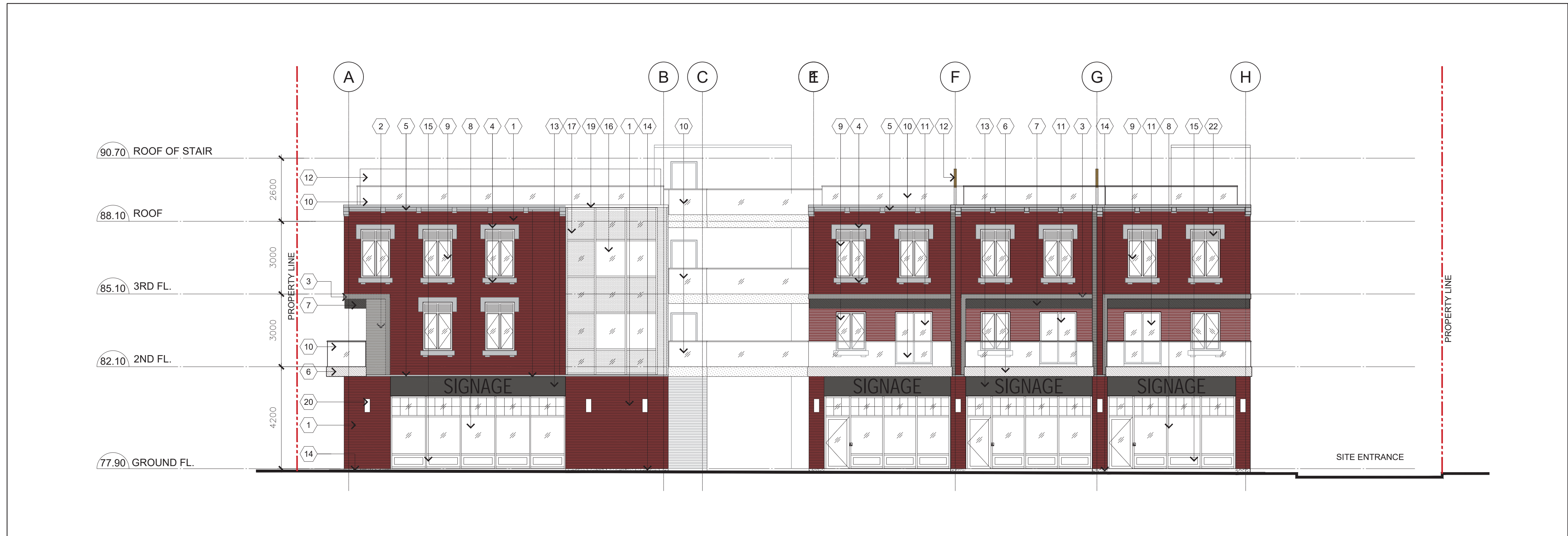
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ARCHITECT
LICENCE
6768

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DRAWING No.	A1.3	CHECKD BY	MV
		SCALE	1:300
		DATE	2020/09/17



3 WEST ELEVATION – DIVISION STREET BUILDING
A2.0 SCALE: 1 = 1: 100



2 NORTH ELEVATION – ALBERT STREET
A2.0 SCALE: 1 = 1: 100



1 EAST ELEVATION – DIVISION STREET
A2.0 SCALE: 1 = 1: 100

EXTERIOR FINISHED:

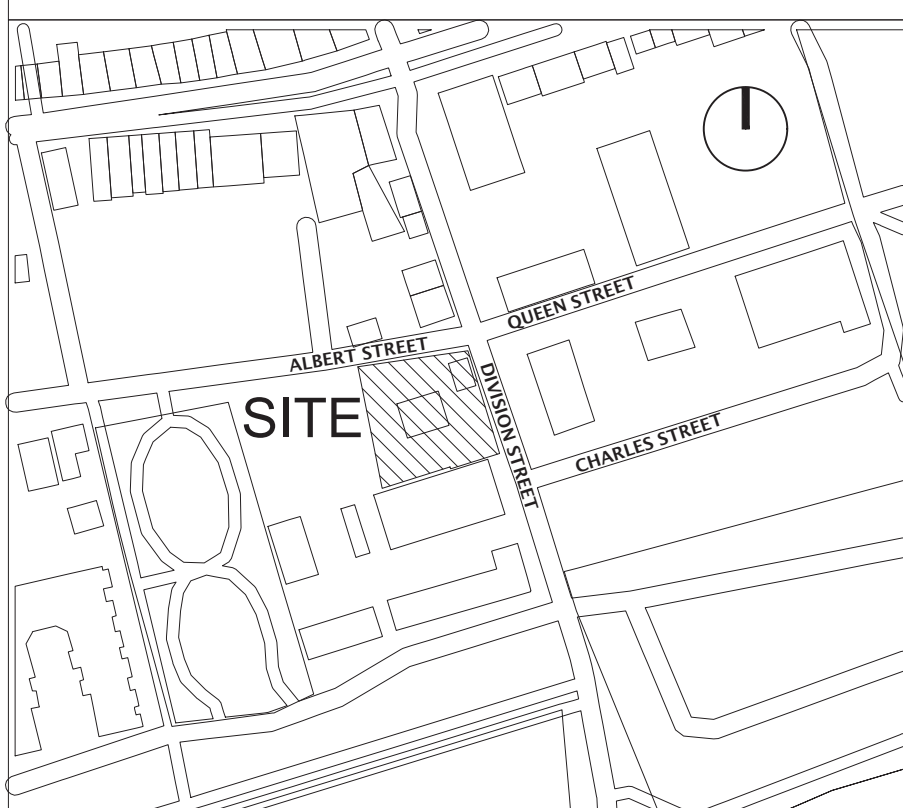
- 1 BRICK MASONRY VENEER
BRAMPTON BRICK:
TUMBLER_CHURCH-HILL, RUNNING BOND
- 2 BRICK MASONRY VENEER
BRAMPTON BRICK:
ROYAL_GRAY_SWATCH RUNNING BOND
- 3 BRICK MASONRY VENEER
BRAMPTON BRICK:
ROYAL_GRAY_SWATCH SOLDIER BOND
- 4 ARCHITECTURAL PRECAST
CONCRETE STONE ACCENT HEADER/SILL
WITH DRIP EDGE, COLOR TBD
- 5 ARCHITECTURAL CORNICE
GLASS FIBRE REINFORCED
CONCRETE WITH DRIP EDGE
- 6 PREFINISHED COMPOSITE METAL
PANEL - WHITE COLOR
- 7 PREFINISHED COMPOSITE METAL
PANEL - DARK GREY COLOR
- 8 CLEAR LOW-E VISION GLASS
(STOREFRONT) IN THERMALLY BROKEN
RPEFINISHED METAL FRAMES
FRAME COLOR: MATT BLACK
- 9 CLEAR LOW-E VISION GLASS (RESIDENTIAL
OPERABLE CASEMENT WINDOW) IN
THERMALLY BROKEN VINYL OR GLASS FIBRE
PREFIN. FRAMES- COLOR: MATT BLACK
- 9a CLEAR LOW-E VISION GLASS (RESIDENTIAL
OPERABLE SLIDING WINDOW) IN THERMALLY
BROKEN VINYL OR GLASS FIBRE PREFIN.
WINDOW FRAMES- COLOR: MATT BLACK
- 10 TEMPERED GLASS BALCONY
BALLUSTRADE
- 11 DOUBLE GLAZED EXTERIOR SLIDING
DOOR (RESIDENTIAL -2ND FLOOR ONLY)
- 12 PRESSURE TREATED DECORATIVE
WOOD PRIVACY SCREEN
PAINT FINISHES
- 13 RETAIL SIGNAGE W./ REINFORCED
BACK-UP BEHIND CLADDING
- 14 EXPOSED CONCRETE FOUNDATION
WALL LIGHT SANDBLASTED
- 15 STOREFRONT DECORATIVE BASE PANEL
PREFINISHED METAL PANEL
MATT BLACK
- 16 DOUBLE GLAZED CLEAR LOW-E VISION
GLASS IN SEALED UNIT IN PRE.FIN.
ALUM. CURTAIN WALL SYSTEM, FRAME
COLOR - MATT BLACK
- 17 DOUBLE GLAZED SPANDREL GLASS IN
SEALED UNIT IN PRE.FIN. ALUM.
CURTAIN WALL SYSTEM, FRAME
COLOR - MATT BLACK
- 18 INSULATED HOLLOW METAL DOOR
PAINT FINISHES
- 18a INSULATED HOLLOW METAL W./ SIDELIGHT
RESIDENTIAL UNIT ENTRANCE DOOR
PAINT FINISHES
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MATT BLACK
- 20 EXTERIOR DECORATIVE LIGHT FIXTURE
- 21 EXTERIOR WALLPACK
- 22 ARCH. PREFIN. ALUM. LOUVRE INTEGRATED
WITH WINDOWS, FOR WALL BOX

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PLAN OF SURVEY OF
PART OF LOTS OF 6,7,8 & 9
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CADDY PLAN
GEOGRAPHIC TOWN OF COBOURG
COUNTY OF NORTHUMBERLAND

KEY PLAN



LEGEND

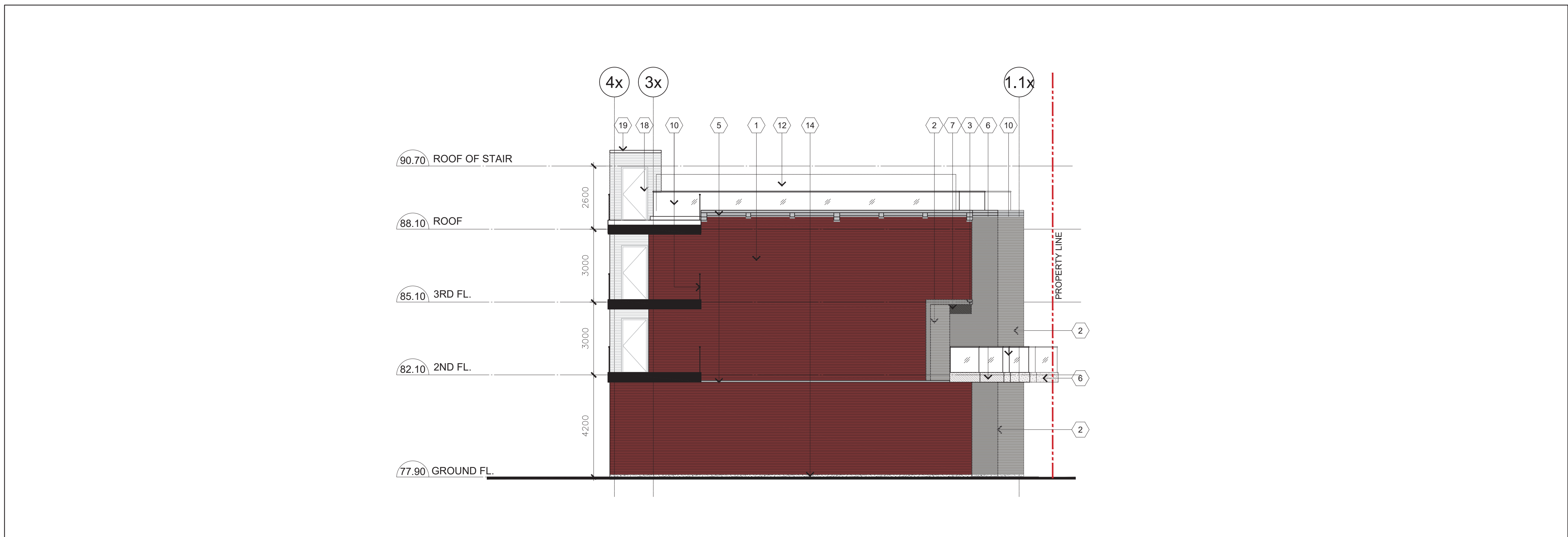
PROPERTY LINE
SETBACK



3 WEST ELEVATION
A2.1 SCALE: 1 = 1: 100



2 SOUTH ELEVATION
A2.1 SCALE: 1 = 1: 100



1 EAST ELEVATION- ALBERT STREET BUILDING
A2.1 SCALE: 1 = 1: 100

EXTERIOR FINISHED:

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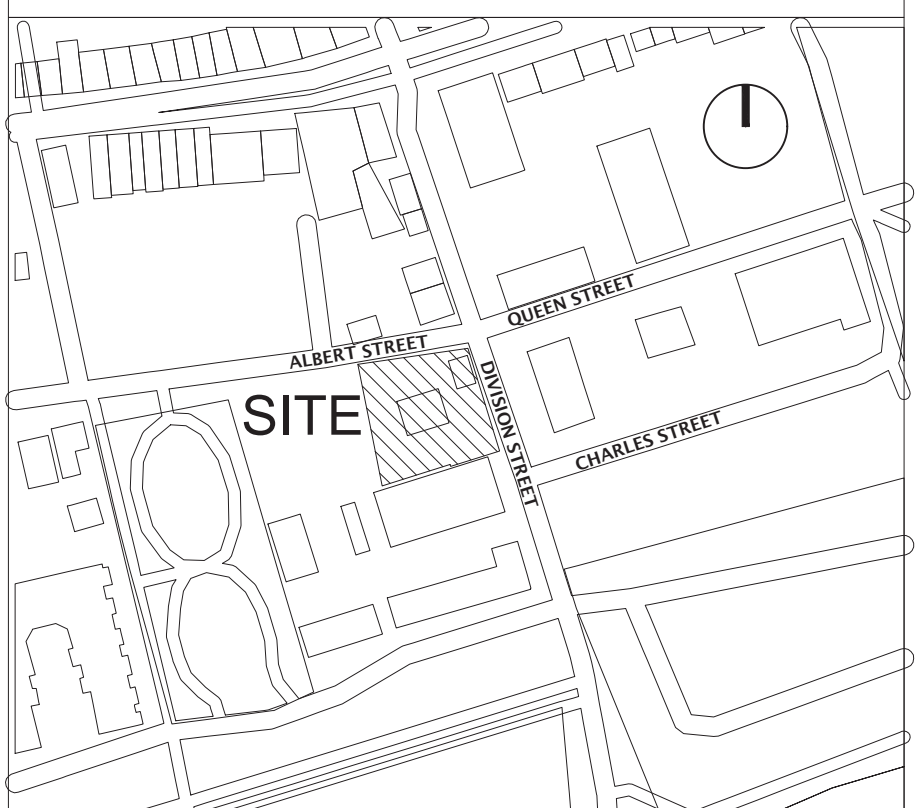
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CADDY PLAN
GEOGRAPHIC TOWN OF COBOURG
COUNTY OF NORTHUMBERLAND

KEY PLAN



LEGEND

PROPERTY LINE
SETBACK

DO NOT SCALE DRAWINGS.

PROJECT No.	20749		DRAWN BY	SX
			CHECKD BY	MV
DRAWING No.	A3.1		SCALE	1:300
			DATE	2020/09/17

